

DEVELOPMENT APPLICATION

2 - 10 CAMMARLIE STREET, PANANIA

LOTS 32,33,34,35 & 36 DP 35795

8 X 2 BED & 14 X 1 BED UNITS &

6 X 2 BED TOWNHOUSES



PROPOSED STREETScape (CAMMARLIE STREET)

DRAWING SCHEDULE:

ARCHITECTURAL

	DWG NO:	REV:
COVER PAGE	____ SHT 01 OF 12	C
SITE ANALYSIS / DEMOLITION PLAN & BLOCK ANALYSIS	____ SHT 02 OF 12	C
SITE PLAN	____ SHT 03 OF 12	C
SITE / GROUND FLOOR PLAN	____ SHT 04 OF 12	C
FIRST FLOOR PLAN	____ SHT 05 OF 12	C
SECOND FLOOR PLAN	____ SHT 06 OF 12	C
ROOF PLAN	____ SHT 07 OF 12	C
ELEVATIONS / COLOUR SCHEDULE	____ SHT 08 OF 12	C
ELEVATION (2)	____ SHT 09 OF 12	C
INTERNAL ELEVATIONS	____ SHT 10 OF 12	C
SECTIONS	____ SHT 11 OF 12	C
SHADOW DIAGRAM & FENCE DETAILS	____ SHT 12 OF 12	C

HYDRAULIC

	DWG NO:	REV:
LEGEND, GENERAL NOTES & DRAWING LIST	H01	B
SEDIMENT & EROSION CONTROL PLAN	H02	B
SITE PLAN	H03	D
GROUND FLOOR - STORMWATER DRAINAGE LAYOUT	H04	C
ROOF PLAN	H05	B
LANDSCAPE		
LANDSCAPE DEVELOPMENT APPLICATION	DA01	04
PLANTING SCHEDULE AND DETAILS	DA02	04

SURVEY

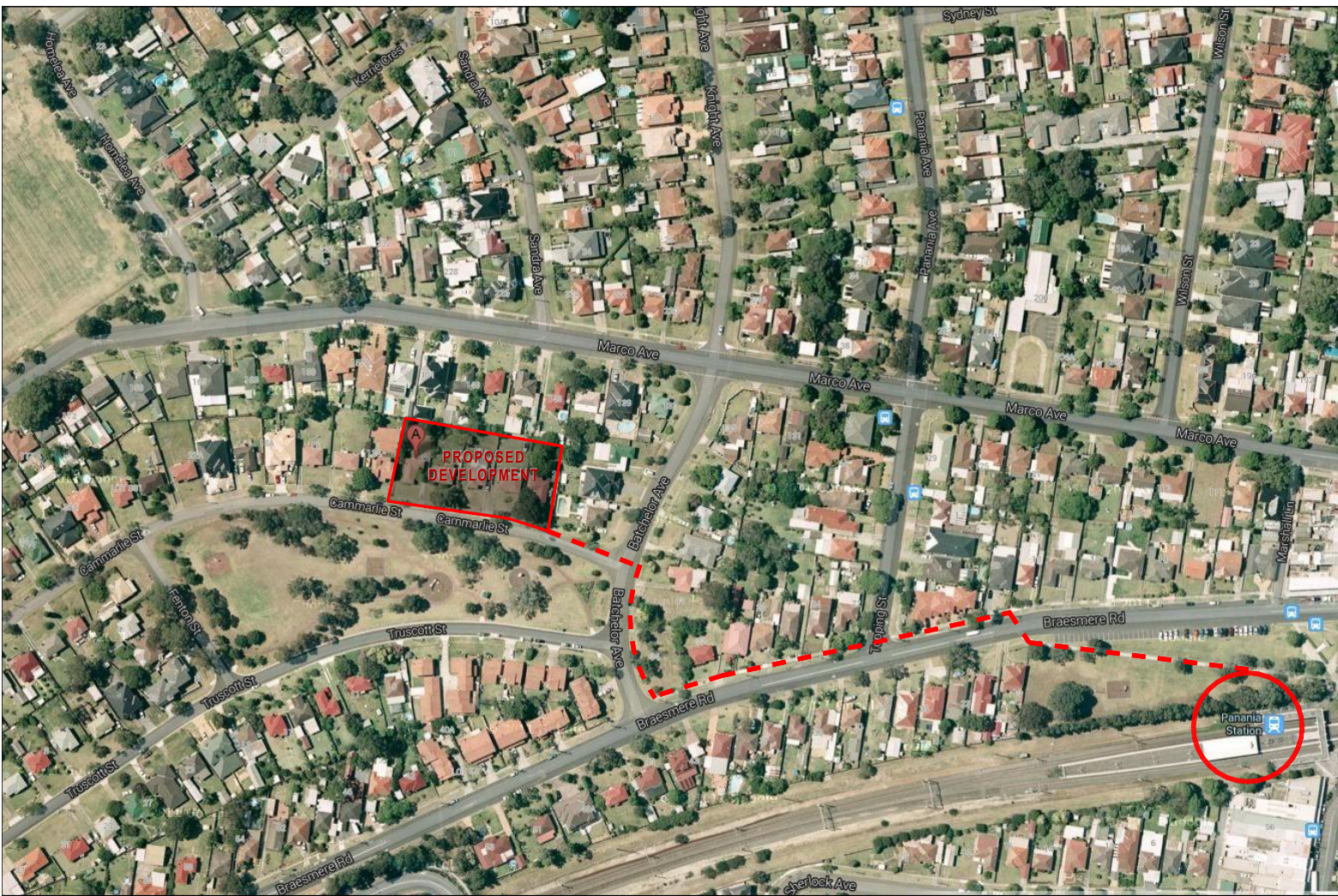
SURVEY PLAN	SHT 01 OF 01	-
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PROPOSED DEVELOPMENT DATA				
SITE AREA	3155 m2			
NUMBER OF UNITS	28			
UNIT	TYPE	BEDROOM	AREA M2	POS M2
1 Ground Floor Adaptable		2	78.30	62.7
2 Ground Floor Liveable		1	50.96	26.4
3 Ground Floor Liveable		1	58.82	27.6
4 Ground Floor Liveable		2	73.28	27.6
5 First Floor Liveable		2	78.30	10
6 First Floor Liveable		1	50.96	9.6
7 First Floor Liveable		1	53.31	9.6
8 First Floor Liveable		2	73.28	10
9 Second Floor Liveable		1	50.96	9.6
10 Second Floor Liveable		1	50.98	9.6
11 Second Floor Liveable		1	53.40	7.6
12 Ground Floor Liveable		2	73.28	31.1
13 Ground Floor Liveable		1	53.31	27.6
14 Ground Floor Liveable		1	50.96	26.4
15 Ground Floor Adaptable		2	78.30	45.8
16 First Floor Liveable		2	73.28	10
17 First Floor Liveable		1	53.31	9.6
18 First Floor Liveable		1	50.96	9.6
19 First Floor Liveable		2	78.30	10
20 Second Floor Liveable		1	53.40	7.6
21 Second Floor Liveable		1	50.98	9.6
22 Second Floor Liveable		1	50.96	9.6
23 Townhouse		2	70.77	69
24 Townhouse		2	70.77	37.5
25 Townhouse		2	70.62	37.5
26 Townhouse		2	70.62	37.5
27 Townhouse		2	70.77	37.5
28 Townhouse		2	70.77	37.5
		Common areas and Stair	118	
Total Build Area			1887.42*	
Total 1 bed Units		14		
Total 2 bed units		8		
Total 2 bed townhouses		6		
Percentage of Units which are universal/adaptable	78%			
	Control	Required	Proposed	
Setbacks		m m		
Front Bankstown DCP**		6	6	
Side 3 Storey	Bankstown DCP**	4.5	5 - 9	
Side 2 Storey	Bankstown DCP***	3	3 - 16	
Rear Bankstown DCP***		5	5	
Height	Bankstown DCP	9	10	
FSR	Bankstown DCP	0.50 : 1	0.598: 1	
Landscape - 35m2 per unit	ARH SEPP	980	980	
Deep Soil Zone - 15 % of site with min dim of 3m	ARH SEPP	473	655	
66% of this at rear	ARH SEPP	315	198	
70% of dwellings to have 3 hours of sunlight to living areas and to associated private open space	ARH SEPP	20	28	
Parking	ARH SEPP***	13	15	
Garbage				
19 to 27 (Unit 1 & 15 not included)	Bankstown DCP	Bulk Waste 3 x 1100lts = 14 x 240lts Recycling 5 x 240lts	20 6	

*Area Calculations to exclude external walls

Residential Flat Building *Multi-unit Housing

LOCATION PLAN:



Family & Community Services
Land & Housing Corporation

LOCKED BAG 4009
ASHFIELD NSW BC1800
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:	SIGNATURE:
GEOFFREY WILLIAM KNOX 4544	
P.KOKULERAJ 7001	
PETA BAKER 8177	
J.DEBEK KOZYRA 6193	

C	11/11/2016	REVISED TOWNHOUSES ROOF & ATTIC
B	29/09/2015	REVISED LAYOUT & LEVELS
A	27/03/2015	DEVELOPMENT APPLICATION
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

PROJECT MANAGER & ARCHITECT
LAND & HOUSING CORPORATION PH (02) 8753 8100 FAX (02) 8753 8011
BCA CONSULTANT
PHILIP CHUN BUILDING CODE (02) 9412 2322 (02) 9412 2433

HYDRAULIC CONSULTANT
BSE BUILDING SERVICES ENGINEERS (02) 8069 5218 (02) 9922 5211
LANDSCAPE CONSULTANT
CLOUSTON ASSOCIATES (02) 8272 4999 (02) 8272 4998



Family & Community Services

PROJECT:
8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES
at
2 - 10 CAMMARLIE STREET, PANANIA

TITLE: COVER PAGE

FILE: BG109-DA2015REV.D.pln

PLOTTED: 2/02/2016 9:17 AM

STATUS: DEVELOPMENT APPLICATION				
DATE: 2/02/2016	SCALE: AS SHOWN	PROJ: G.H	PROJECT NO: BG109	
STAGE: DA	DRAWN: N.R	DESIGNED: E.T	CHECKED: K.K	
TYPE: A	SHEET: 1 of 12	REV: C		



BLOCK ANALYSIS PLAN

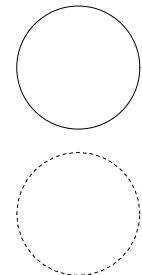
NOT TO SCALE

2



EXISTING DEVELOPMENT
TO BE DEMOLISHED

PROPOSED NEW DEVELOPMENT



TREE TO BE RETAINED

TREE TO BE REMOVED

1

SITE ANALYSIS & DEMOLITION PLAN

1:200



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SIGNATURE:

REV C 11/11/2015 REVISED TOWNHOUSES ROOF & ATTIC
REV B 29/09/2015 REVISED LAYOUT & LEVELS
REV A 27/03/2015 DEVELOPMENT APPLICATION
REV DATE NOTATION/AMENDMENT
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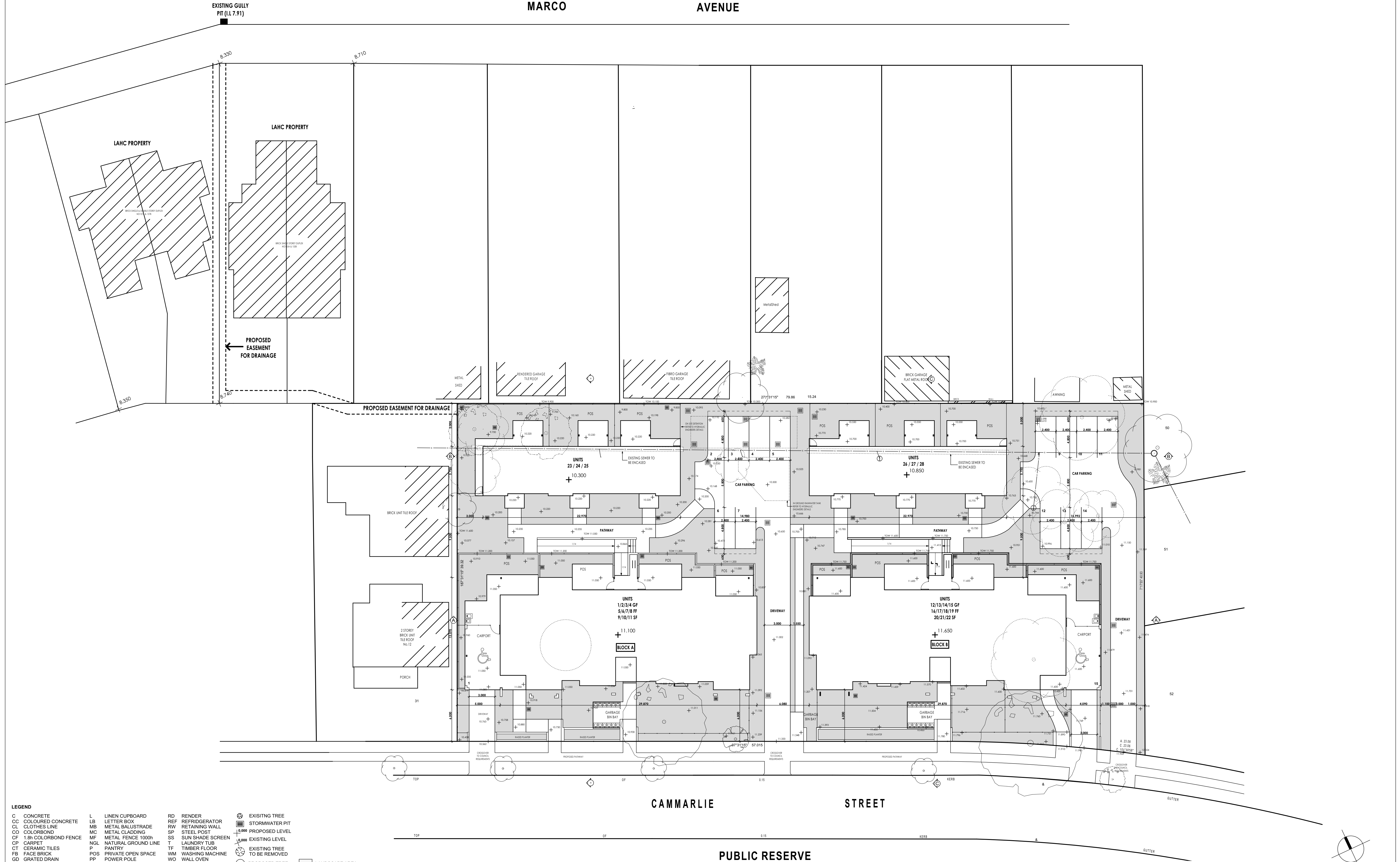
Family &
Community Services

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2 - 10 CAMMARLIE STREET, PANANIA

TITLE:
SITE ANALYSIS / DEMOLITION PLAN
& BLOCK ANALYSIS
FILE:
BG109-DA2015REV.D.pln
PLOTTED: 11/11/2015
12:15 PM

STATUS: DEVELOPMENT APPLICATION
DATE: 11/11/2015 SCALE: 1:200 PROJ: G.H PROJECT NO: BG109
STAGE: DA DRAWN: N.R. DESIGNER: E.T. CHECKED: K.K.
TYPE: A SHEET: 2 of 12 REV: C

0 5 10 20 40MM
SCALE FOR PRINTING
PURPOSE ONLY



- LEGEND**
- | | | | |
|-------------------------|-------------------------|---------------------|----------------|
| C CONCRETE | L LINEN CUPBOARD | RD RENDER | EXISTING TREE |
| CC COLOURED CONCRETE | LB LETTER BOX | REF REFRIGERATOR | STORMWATER PIT |
| CL CLOTHES LINE | MB METAL BALUSTRADE | RW RETAINING WALL | PROPOSED LEVEL |
| CO COLORBOND | MC METAL CLADDING | SP STEEL POST | EXISTING LEVEL |
| CF 1.8M COLORBOND FENCE | MF METAL FENCE 1000H | SS SUN SHADE SCREEN | EXISTING TREE |
| CP CARPET | NGL NATURAL GROUND LINE | T TIMBER FLOOR | TO BE REMOVED |
| CT CERAMIC TILES | P PANTRY | WM WASHING MACHINE | PROPOSED TREE |
| FB FACE BRICK | POS PRIVATE OPEN SPACE | WO WALL OVEN | LANDSCAPE AREA |
| GD GRATED DRAIN | PP POWER POLE | WR WARDROBE | |
| HW HOT WATER UNIT | PS PRIVACY SCREEN | | |



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BCA CONSULTANT	LANDSCAPE CONSULTANT
PHILIP CHUN BUILDING CODE (02) 9412 2322 (02) 9412 2433	CLOUSTON ASSOCIATES (02) 8272 4999 (02) 8272 4998



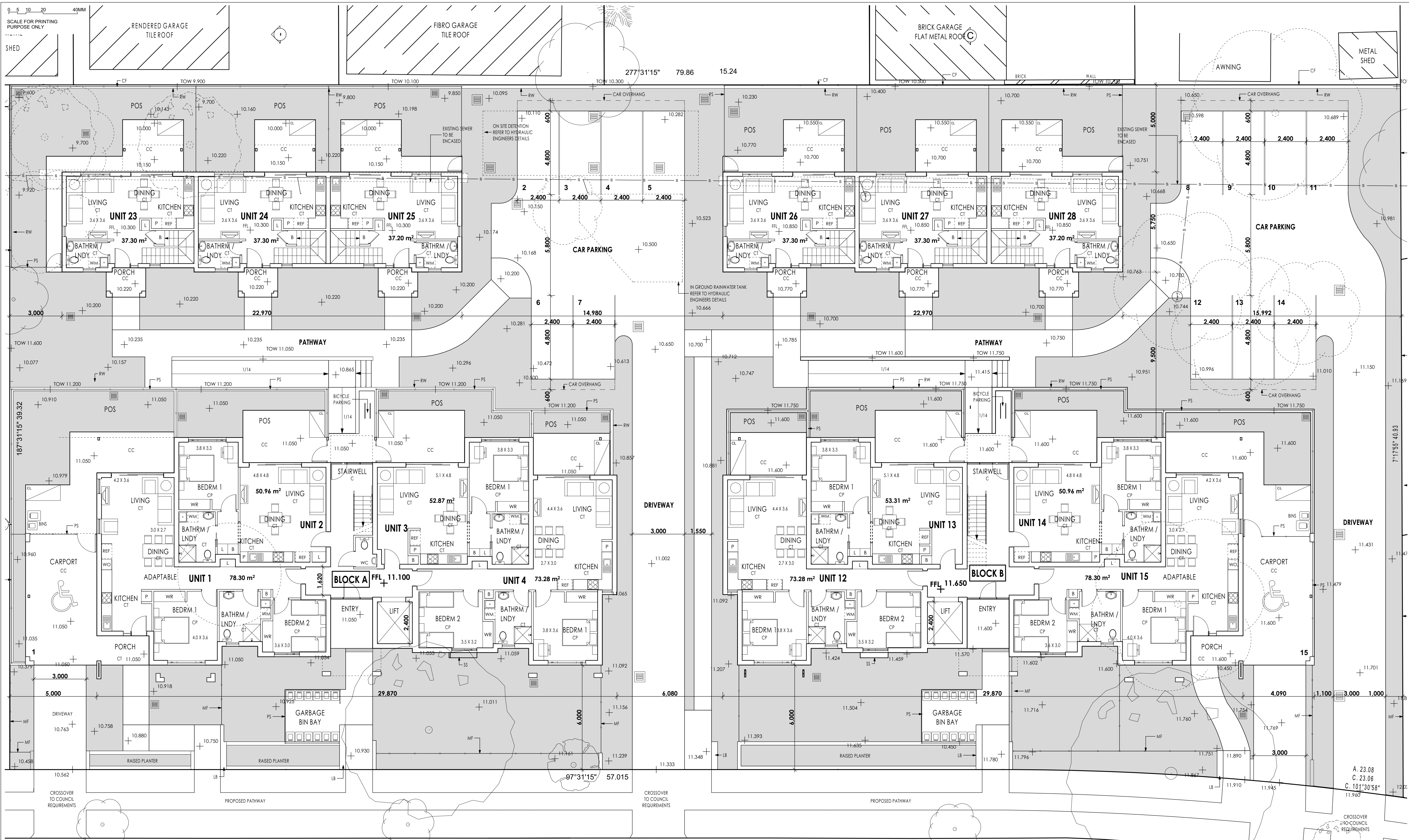
PROJECT:
8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES
at
2 - 10 CAMMARLIE STREET, PANANIA

TITLE:
SITE PLAN

FILE:
BG109-DA2015REVD.pln

PLOTTED: 11/11/2015
12:15 PM

STATUS	DEVELOPMENT APPLICATION
DATE	11/11/2015
SCALE	1:200
PROJ.	G.H
PROJECT NO.	BG109
STAGE	DA
DRAWN	N.R
DESIGNED	E.T
CHECKED	K.K
TYPE	A
SHEET	3 of 12
REV.	C



- LEGEND**
- | | | | |
|-------------------------|-------------------------|---------------------|-----------------------------|
| C CONCRETE | L LINEN CUPBOARD | RD RENDER | EXISTING TREE |
| CC COLOURED CONCRETE | LB LETTER BOX | REF REFRIGERATOR | STORMWATER PIT |
| CL CLOTHES LINE | MB METAL BALUSTRADE | RW RETAINING WALL | PROPOSED LEVEL |
| CO COLORBOND | MC METAL CLADDING | SP STEEL POST | EXISTING LEVEL |
| CF 1.8M COLORBOND FENCE | MF METAL FENCE 1000H | SS SUN SHADE SCREEN | EXISTING TREE TO BE REMOVED |
| CP CARPET | NGL NATURAL GROUND LINE | T TIMBER FLOOR | PROPOSED TREE |
| CT CERAMIC TILES | P PANTRY | WM WASHING MACHINE | LANDSCAPE AREA |
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| GD GRATED DRAIN | PP POWER POLE | WR WARDROBE | |
| HW HOT WATER UNIT | PS PRIVACY SCREEN | | |

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SIGNATURE:
C
B
A
REV

DATE
11/11/2015
29/09/2015
27/03/2015

REVISION
REVISED TOWNHOUSES ROOF & ATTIC
REVISED LAYOUT & LEVELS
DEVELOPMENT APPLICATION
NOTATION/AMENDMENT

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PROJECT MANAGER & ARCHITECT
LAND & HOUSING CORPORATION
PH (02) 8753 8100 FAX (02) 8753 8011
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Family & Community Services

CLIENT:
8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES
at
2 - 10 CAMMARLIE STREET, PANANIA

TITLE:
SITE / GROUND FLOOR PLAN

FILE:
BG109-DA2015REV.D.pln

PLOTTED:
11/11/2015
12:15 PM

STATUS: DEVELOPMENT APPLICATION
DATE: 11/11/2015
SCALE: 1:100
PROJ: G.H
PROJECT NO: BG109
STAGE: DA
DRAWN: N.R
DESIGNED: E.T
CHECKED: K.K
TYPE: A
SHEET: 4 of 12
REV: C



- LEGEND**
- | | | | |
|-------------------------|-------------------------|---------------------|----------------|
| C CONCRETE | L LINEN CUPBOARD | RD RENDER | EXISTING TREE |
| CC COLOURED CONCRETE | LB LETTER BOX | REF REFRIGERATOR | STORMWATER PIT |
| CL CLOTHES LINE | MB METAL BALUSTRADE | RW RETAINING WALL | PROPOSED LEVEL |
| CO COLORBOND | MC METAL CLADDING | SP STEEL POST | EXISTING LEVEL |
| CP 1.8M COLORBOND FENCE | MF METAL FENCE 1000H | SS SUN SHADE SCREEN | EXISTING TREE |
| CP CARPET | NGL NATURAL GROUND LINE | T LAUNDRY TUB | TO BE REMOVED |
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| GD GRATED DRAIN | PP POWER POLE | WR WARDROBE | |
| HW HOT WATER UNIT | PS PRIVACY SCREEN | | |

CAMMARLIE

STREET



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GEORFFREY WILLIAM KNOX 4544				
P.KOKULERAJ 7001				
PETA BAKER 8177				
J.DEBEK KOZYRA 6193				

PROJECT MANAGER & ARCHITECT
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PROJECT:
8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES
at
2 - 10 CAMMARLIE STREET, PANANIA

TITLE:
FIRST FLOOR PLAN

FILE:
BG109-DA2015REVD.pln

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STATUS: DEVELOPMENT APPLICATION			
DATE: 11/11/2015	SCALE: 1:100	PROJ: G.H	PROJECT No. BG10
STAGE: DA	DRAWN: N.R	DESIGNER: E.T	CHECKED K.K
TYPE: A	SHEET: 5 of 12		REV: C



- LEGEND**

 - C CONCRETE
 - CC COLOURED CONCRETE
 - CL CLOTHES LINE
 - CO COLORBOND
 - CP 1.8M COLORBOND FENCE
 - CP CARPET
 - CT CERAMIC TILES
 - FB FACE BRICK
 - GD GRATED DRAIN
 - HW HOT WATER UNIT
 - L LINEN CUPBOARD
 - LB LETTER BOX
 - MB METAL BALUSTRADE
 - MC METAL CLADDING
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 - POS PRIVATE OPEN SPACE
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 - WO WALL OVEN
 - WR WARDROBE
 - EXISTING TREE
 - STORMWATER PIT
 - PROPOSED LEVEL
 - EXISTING LEVEL
 - EXISTING TREE TO BE REMOVED
 - PROPOSED TREE
- OF

0.15

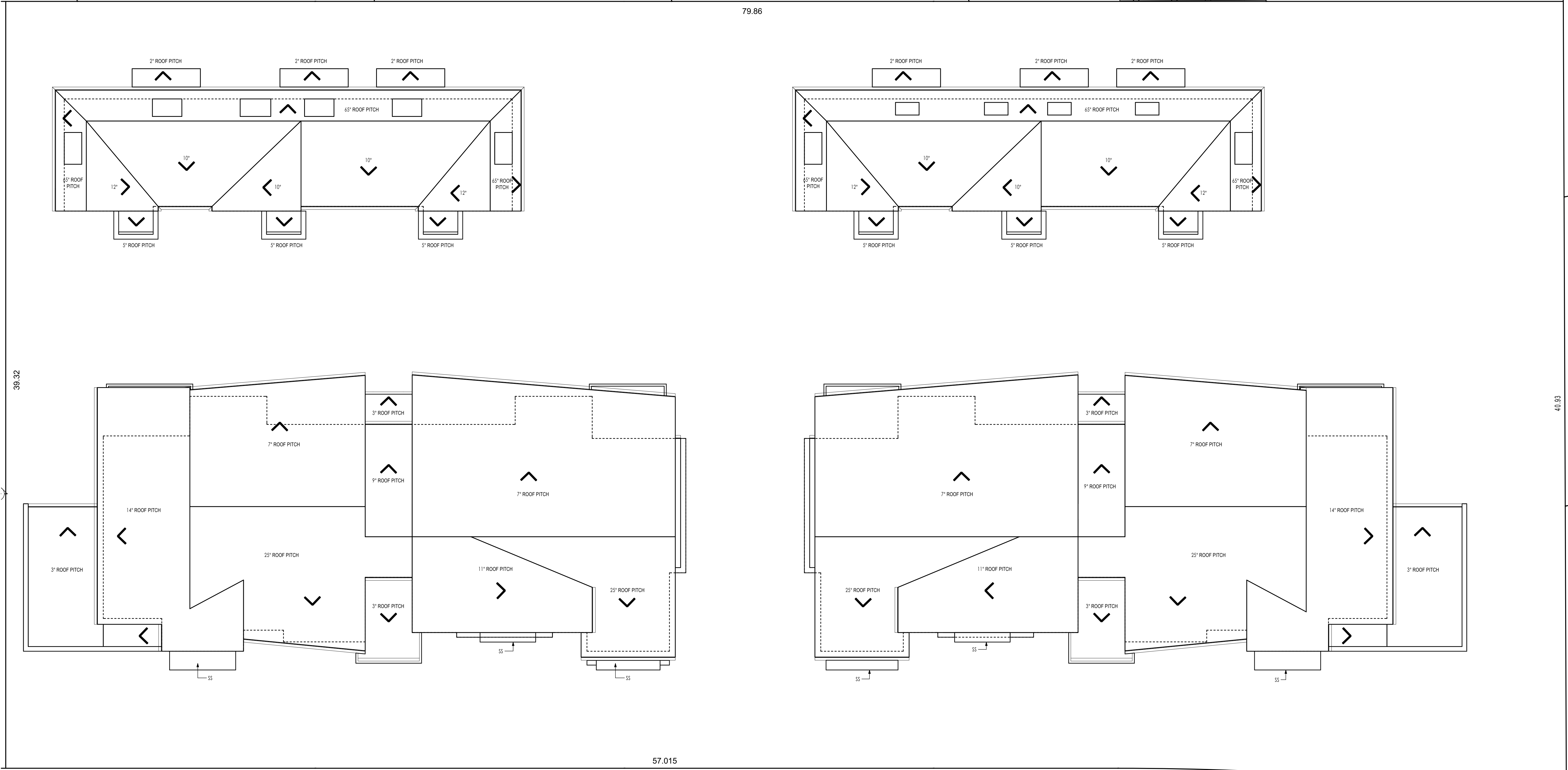
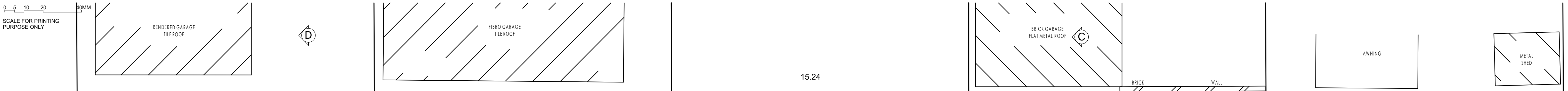
KERB

&

CAMMARLIE

STREET

 Family & Community Services Land & Housing Corporation	LOCKED BAG 4009 ASHFIELD NSW BC1800 PHONE No (02) 8753 8000 FAX No (02) 8753 8888 www.facs.nsw.gov.au	NOMINATED ARCHITECT:		SIGNATURE:					PROJECT MANAGER & ARCHITECT	HYDRAULIC CONSULTANT		 Family & Community Services	PROJECT:		TITLE:		STATUS: DEVELOPMENT APPLICATION			
		GEOFFREY WILLIAM KNOX 4544				C	11/11/2015	REVISED TOWNHOUSES ROOF & ATTIC		LAND & HOUSING CORPORATION (02) 8753 8100 FAX (02) 8753 8011			BSE BUILDING SERVICES ENGINEERS (02) 8069 5219 (02) 9922 5211		8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES		SECOND FLOOR PLAN		DATE: 11/11/2015	
		P.KOKULERAJ 7001				B	29/09/2015	REVISED LAYOUT & LEVELS		BCA CONSULTANT			LANDSCAPE CONSULTANT		at		SCALE: 1:100		PROJ: G.H	
		PETA BAKER 8177				A	27/03/2015	DEVELOPMENT APPLICATION		PHILIP CHUN BUILDING CODE (02) 9412 2322 (02) 9412 2433			CLOUSTON ASSOCIATES (02) 8272 4999 (02) 8272 4998		2 - 10 CAMMARLIE STREET, PANANIA		FILE: BG109-DA2015REVD.pln		PLOTTED: 11/11/2015 12:15 PM	
		J.DEBEK KOZYRA 6193				DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.									TYPE: A		SHEET: 6 of 12		DESIGNER: E.T	
																			CHECKED: K.K	
																			REV: C	



- LEGEND**
- | | | | |
|-------------------------|-------------------------|---------------------|----------------|
| C CONCRETE | L LINEN CUPBOARD | RD RENDER | EXISTING TREE |
| CC COLOURED CONCRETE | LB LETTER BOX | REF REFRIGERATOR | STORMWATER PIT |
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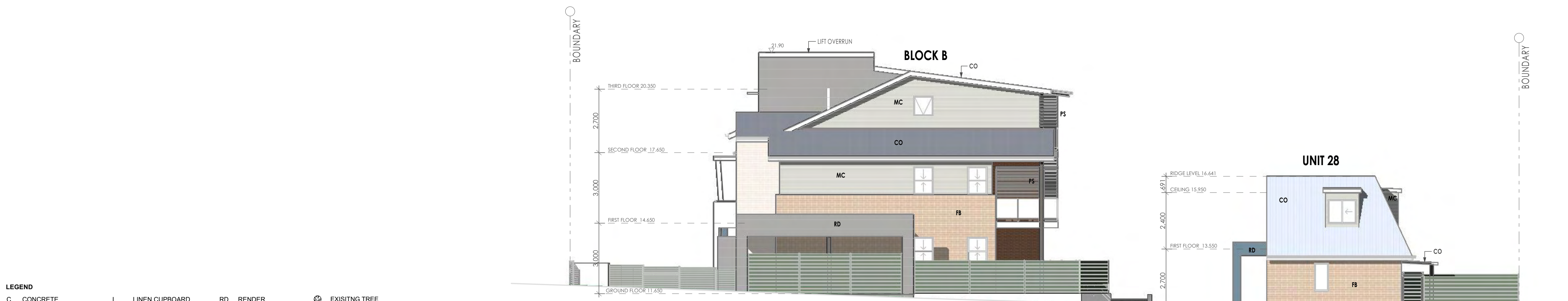
 Family & Community Services Land & Housing Corporation	LOCKED BAG 4009 ASHFIELD NSW BC1800 PHONE No (02) 8753 8000 FAX No (02) 8753 8886 www.facs.nsw.gov.au	NOMINATED ARCHITECT:	SIGNATURE:					PROJECT MANAGER & ARCHITECT	HYDRAULIC CONSULTANT	CLIENT:	PROJECT:	TITLE:	STATUS:				
		GEOFFREY WILLIAM KNOX 4544							LAND & HOUSING CORPORATION PH (02) 8753 8100 FAX (02) 8753 8011	BSE BUILDING SERVICES ENGINEERS (02) 8069 5219 (02) 9922 5211	 Family & Community Services	8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES	ROOF PLAN	DEVELOPMENT APPLICATION			
		P.KOKULERAJ 7001							BCA CONSULTANT	LANDSCAPE CONSULTANT		at		DATE: 11/11/2015	SCALE: 1:100	PROJ: G.H	PROJECT No: BG109
		PETA BAKER 8177							PHILIP CHUN BUILDING CODE (02) 9412 2322 (02) 9412 2433	CLOUSTON ASSOCIATES (02) 8272 4999 (02) 8272 4998		2 - 10 CAMMARLIE STREET, PANANIA	FILE: BG109-DA2015REVD.pln	PLOTTED: 11/11/2015 12:15 PM	STAGE: DA	DRAWN: N.R	DESIGNER: E.T
		J.DEBEK KOZYRA 6193												TYPE: A	SHEET: 7 of 12	REV: C	



1 SOUTHERN ELEVATION BLOCK A & B
1:100



2 NORTHERN INTERNAL ELEVATION BLOCK A & B
1:100



- LEGEND**
- | | | | | | | | |
|----|----------------------|-----|---------------------|-----|------------------|-----|----------------|
| C | CONCRETE | L | LINEN CUPBOARD | RD | RENDER | ET | EXISTING TREE |
| CC | COLOURED CONCRETE | LB | LETTER BOX | REF | REFRIGERATOR | STP | STORMWATER PIT |
| CL | CLOTHES LINE | MB | METAL BALUSTRADE | RW | RETAINING WALL | PS | PROPOSED TREE |
| CO | COLORBOND | MC | METAL CLADDING | SP | STEEL POST | | |
| CF | 1.8m COLORBOND FENCE | MF | METAL FENCE 1000h | SS | SUN SHADE SCREEN | | |
| CP | CARPET | NGL | NATURAL GROUND LINE | T | TIMBER FLOOR | | |
| CT | CERAMIC TILES | P | PANTRY | TF | TIMBER FLOOR | | |
| FB | FACE BRICK | POS | PRIVATE OPEN SPACE | WM | WASHING MACHINE | | |
| GD | GRATED DRAIN | PP | POWER POLE | WO | WALL OVEN | | |
| HW | HOT WATER UNIT | PS | PRIVACY SCREEN | WR | WARDROBE | | |

3 EASTERN ELEVATION
1:100

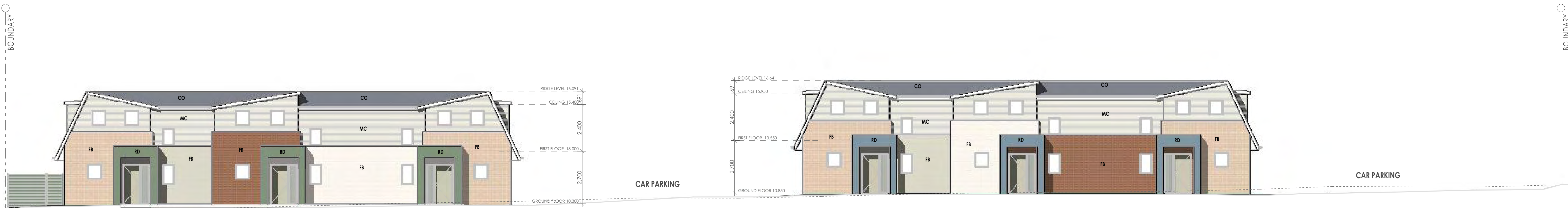
COLOUR SCHEDULE

- | | |
|-----------------------------|--|
| MAJESTIC GREY AUSTRAL | |
| CHILL ULTRA AUSTRAL | |
| COGNAC AUSTRAL | |
| BRUSHED LEATHER AUSTRAL | |
| COLD METAL BRITISH PAINTS | |
| GREEN RESULT BRITISH PAINTS | |
| SURFMIST COLORBOND | |
| SHALE GREY COLORBOND | |
| WINDSPRAY COLORBOND | |
| BLUE RIDGE COLORBOND | |
| PALE EUCALYPT COLORBOND | |

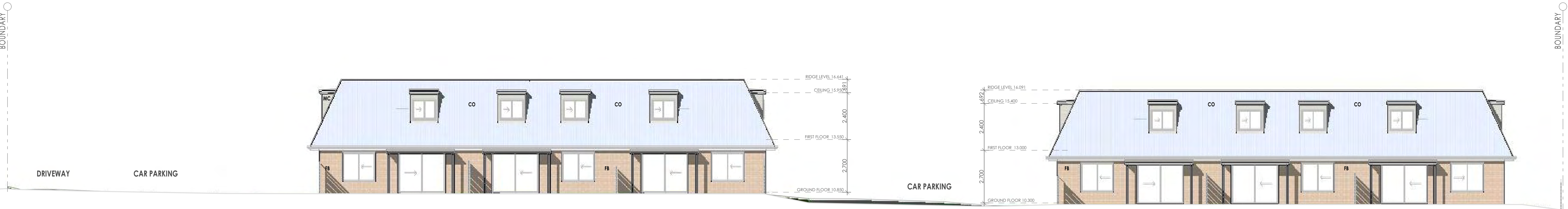
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SCALE FOR 1
PURPOSE OF



1 WESTERN ELEVATION BLOCK A & TOWNHOUSE 23
1:100



2 SOUTHERN ELEVATION TOWNHOUSE 23-28
1:100



3 NORTHERN ELEVATION TOWNHOUSE 23-28
1:100

COLOUR SCHEDULE

- MAJESTIC GREY AUSTRAL
- CHILL ULTRA AUSTRAL
- COGNAC AUSTRAL
- BRUSHED LEATHER AUSTRAL
- COLD METAL BRITISH PAINTS
- GREEN RESULT BRITISH PAINTS
- SURFMIST COLORBOND
- SHALE GREY COLORBOND
- WINDSPRAY COLORBOND
- BLUE RIDGE COLORBOND
- PALE EUCALYPT COLORBOND

- LEGEND**
- | | | | |
|-------------------------|-------------------------|---------------------|----------------|
| C CONCRETE | L LINEN CUPBOARD | RD RENDER | EXISTING TREE |
| CO COLOURED CONCRETE | LB LETTER BOX | REF REFRIGERATOR | STORMWATER PIT |
| CL CLOTHES LINE | MB METAL BALUSTRADE | RW RETAINING WALL | PROPOSED LEVEL |
| CO COLORBOND | MC METAL CLADDING | SP STEEL POST | EXISTING LEVEL |
| CF 1.8m COLORBOND FENCE | MF METAL FENCE 1000h | SS SUN SHADE SCREEN | EXISTING TREE |
| CP CARPET | NGL NATURAL GROUND LINE | T LAUNDRY TUB | TO BE REMOVED |
| CT CERAMIC TILES | P PANTRY | TF TIMBER FLOOR | PROPOSED TREE |
| FB FACE BRICK | POS PRIVATE OPEN SPACE | WM WASHING MACHINE | |
| GD GRATED DRAIN | PP POWER POLE | WO WALL OVEN | |
| HW HOT WATER UNIT | PS PRIVACY SCREEN | WR WARDROBE | |



Family & Community Services
Land & Housing Corporation

LOCKED BAG 4009
ASHFIELD NSW BC1800
PHONE No (02) 8753 8000
FAX No (02) 8753 8886
www.facs.nsw.gov.au

NOMINATED ARCHITECT:	SIGNATURE:		
GEORFFREY WILLIAM KNOX 4544			
P.KOKULERAJ 7001			
PETA BAKER 8177			
J.DEBEK KOZYRA 6193			

PROJECT MANAGER & ARCHITECT
LAND & HOUSING CORPORATION PH (02) 8753 8100 FAX (02) 8753 8011
BCA CONSULTANT
PHILIP CHUN BUILDING CODE (02) 9412 2322 (02) 9412 2433

HYDRAULIC CONSULTANT
BSE BUILDING SERVICES ENGINEERS (02) 8069 5219 (02) 9922 5211
LANDSCAPE CONSULTANT
CLOUSTON ASSOCIATES (02) 8272 4999 (02) 8272 4998

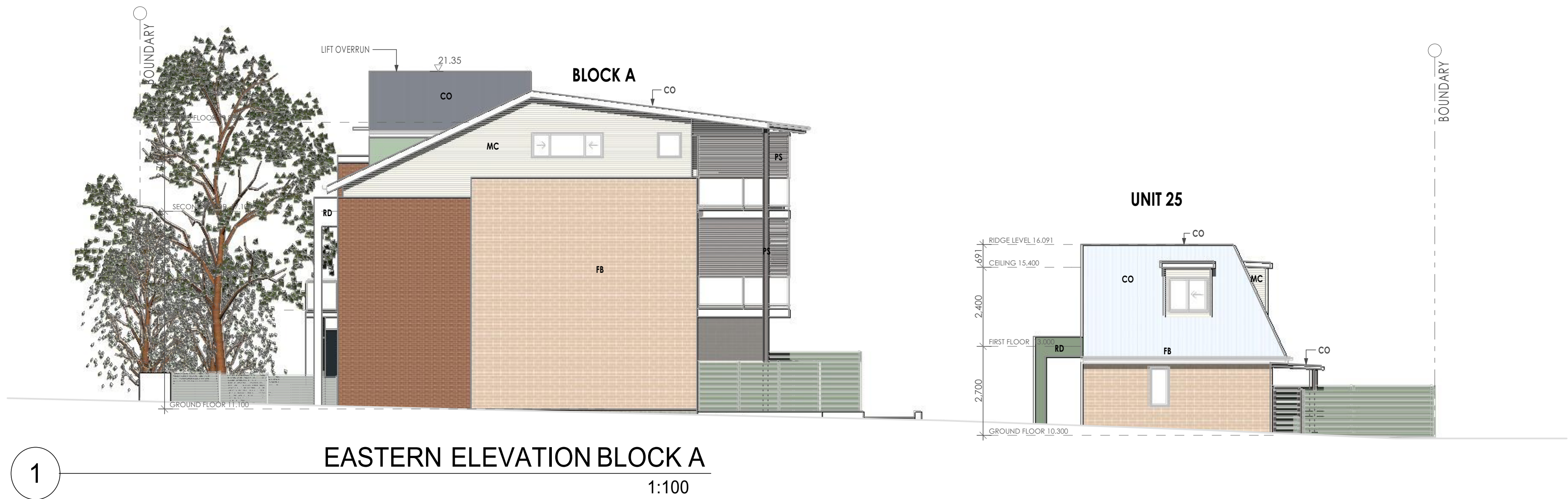


PROJECT:
8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES
at
2 - 10 CAMMARLIE STREET, PANANIA

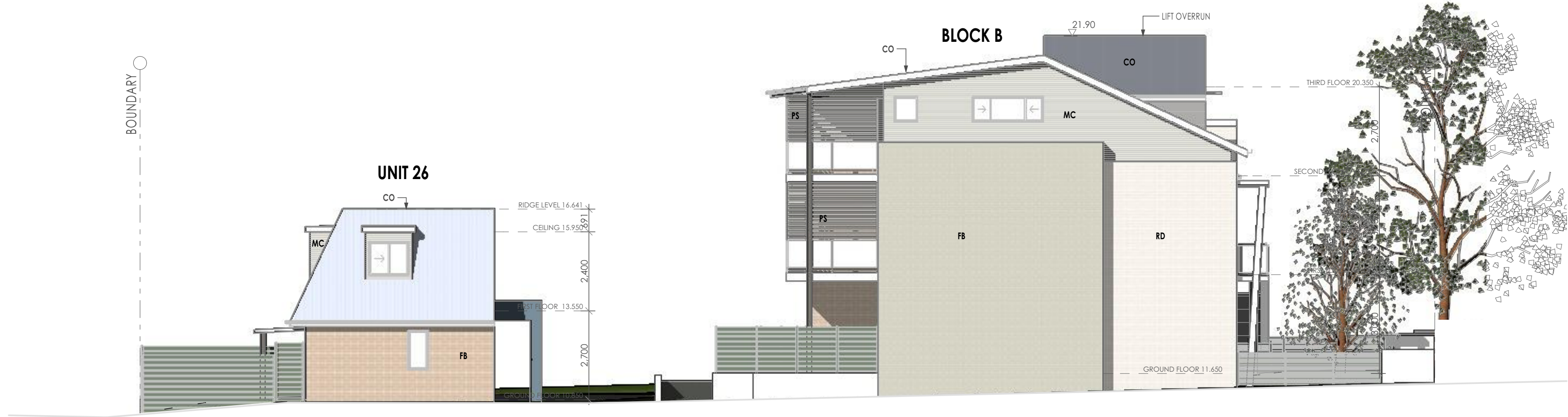
TITLE:
ELEVATIONS (2)

FILE:
BG109-DA2015REVD.pln

		STATUS: DEVELOPMENT APPLICATION			
		DATE: 11/11/2015	SCALE: 1:100	PROJ: G.H	PROJECT NO: BG109
		STAGE: DA	DRAWN: N.R	DESIGNER: E.T	CHECKED: K.K
PLOTTED: 11/11/2015 12:16 PM	TYPE: A	SHEET: 9 of 12		REV: C	



1 EASTERN ELEVATION BLOCK A
1:100



2 WESTERN ELEVATION BLOCK B
1:100

LEGEND			
C CONCRETE	L LINEN CUPBOARD	RD RENDER	EXISTING TREE
CC COLOURED CONCRETE	LB LETTER BOX	REF REFRIGERATOR	STORMWATER PIT
CL CLOTHES LINE	MB METAL BALUSTRADE	RW RETAINING WALL	PROPOSED LEVEL
CO COLORBOND	MC METAL CLADDING	SP STEEL POST	EXISTING LEVEL
CF 1.8M COLORBOND FENCE	MF METAL FENCE 1000h	SS SUN SHADE SCREEN	EXISTING TREE
CP CARPET	NGL NATURAL GROUND LINE	T LAUNDRY TUB	TO BE REMOVED
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FB FACE BRICK	POS PRIVATE OPEN SPACE	WM WASHING MACHINE	
GD GRATED DRAIN	PP POWER POLE	WO WALL OVEN	
HW HOT WATER UNIT	PS PRIVACY SCREEN	WR WARDROBE	



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NOMINATED ARCHITECT:		SIGNATURE:	
GEOFFREY WILLIAM KNOX	4544		
P.KOKULERAJ	7001		
PETA BAKER	8177		
J.DEBEK KOZYRA	6193		

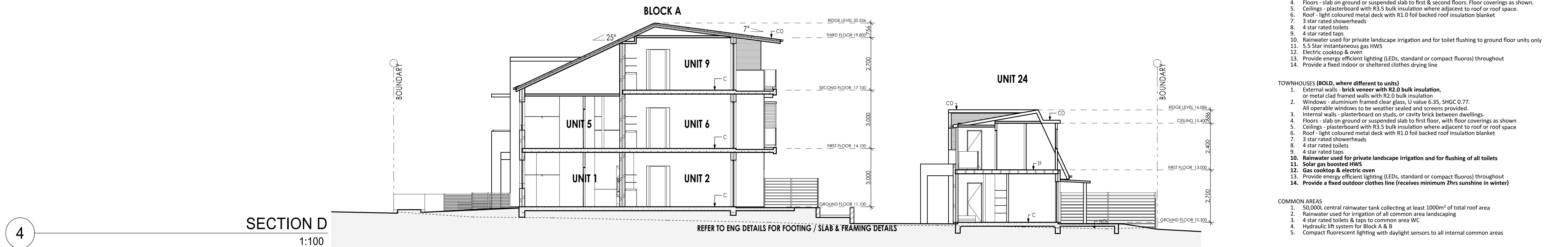
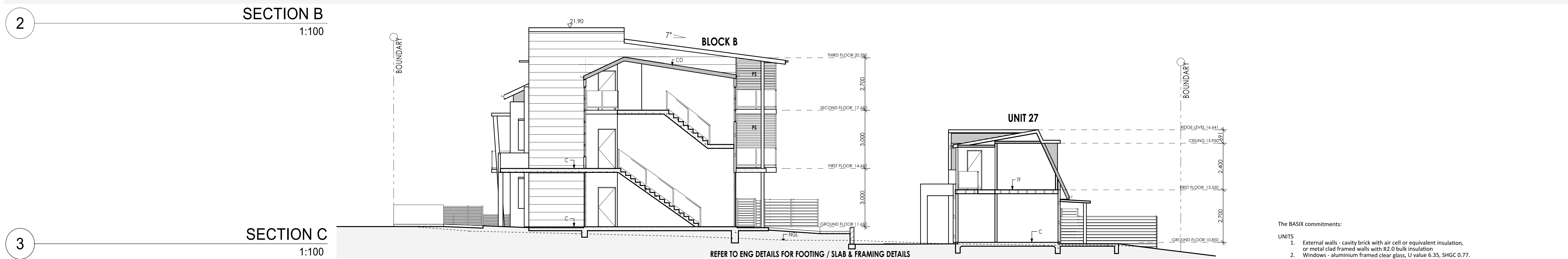
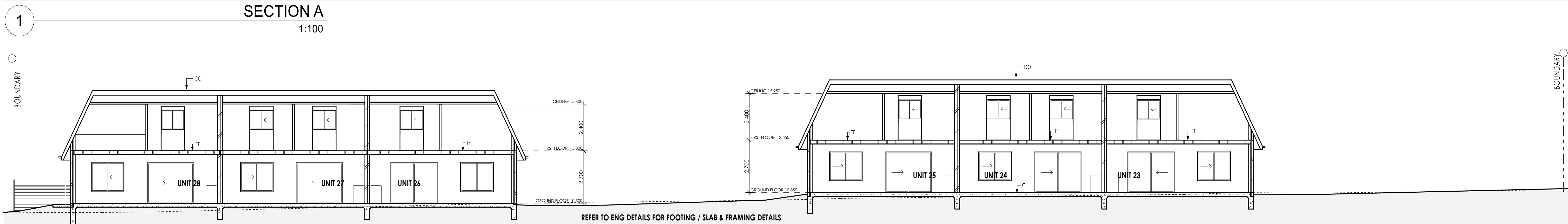
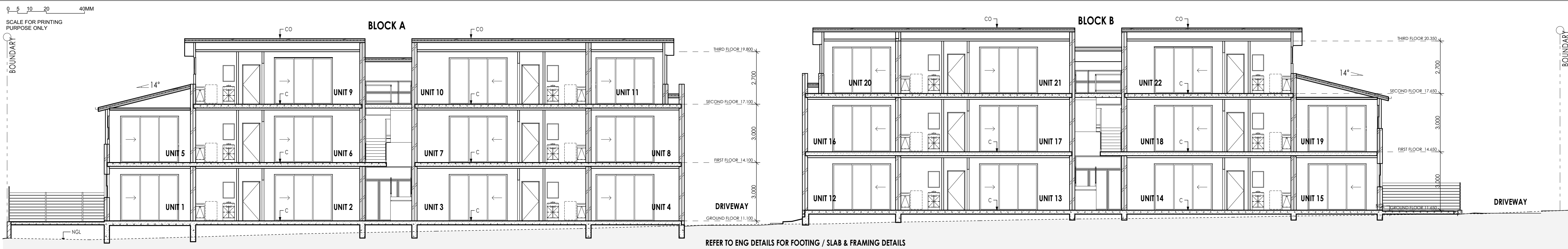
PROJECT MANAGER & ARCHITECT		HYDRAULIC CONSULTANT	
LAND & HOUSING CORPORATION	PH (02) 8753 8100 FAX (02) 8753 8011	BSE BUILDING SERVICES ENGINEERS	(02) 8069 5218 (02) 9922 5211
BCA CONSULTANT		LANDSCAPE CONSULTANT	
PHILIP CHUN BUILDING CODE	(02) 9412 2322 (02) 9412 2433	CLOUSTON ASSOCIATES	(02) 8272 4999 (02) 8272 4998



Family & Community Services

PROJECT:
8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES
at
2 - 10 CAMMARLIE STREET, PANANIA

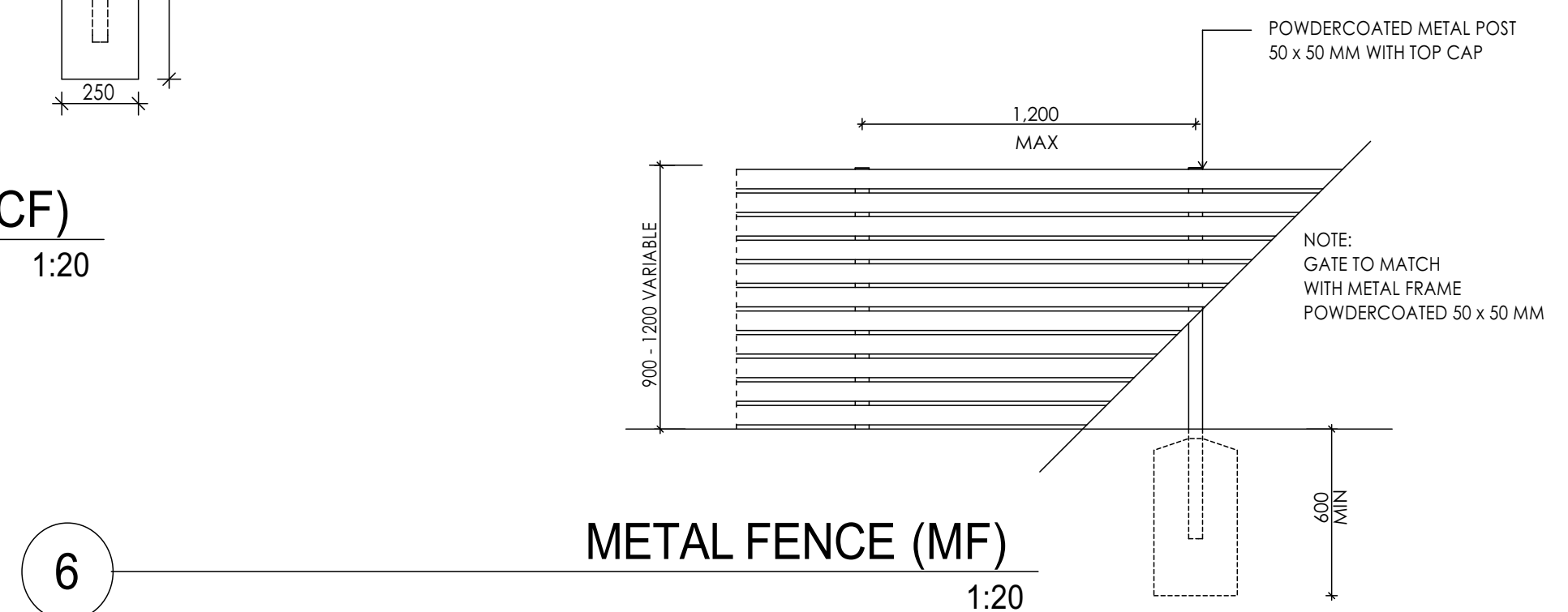
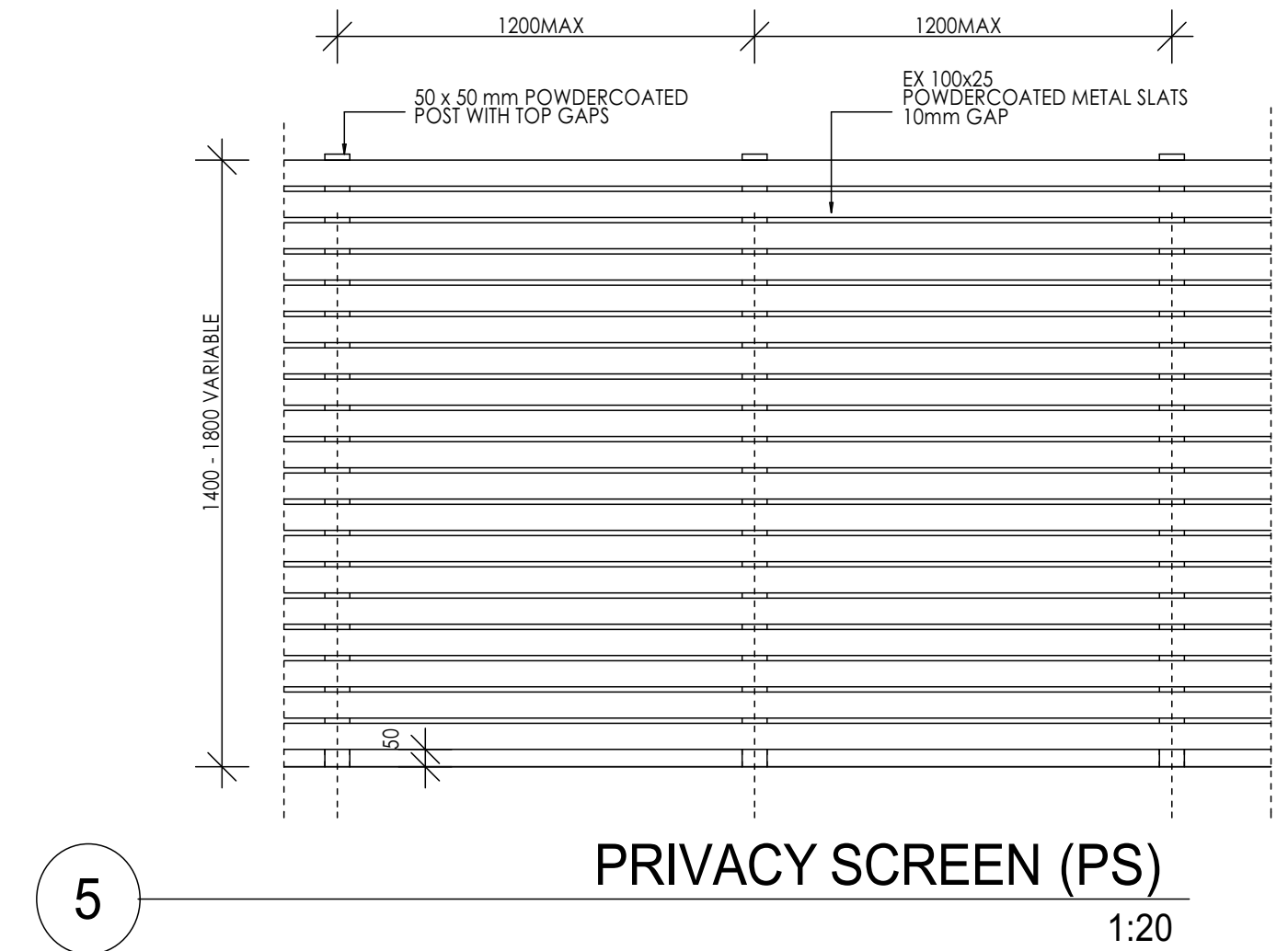
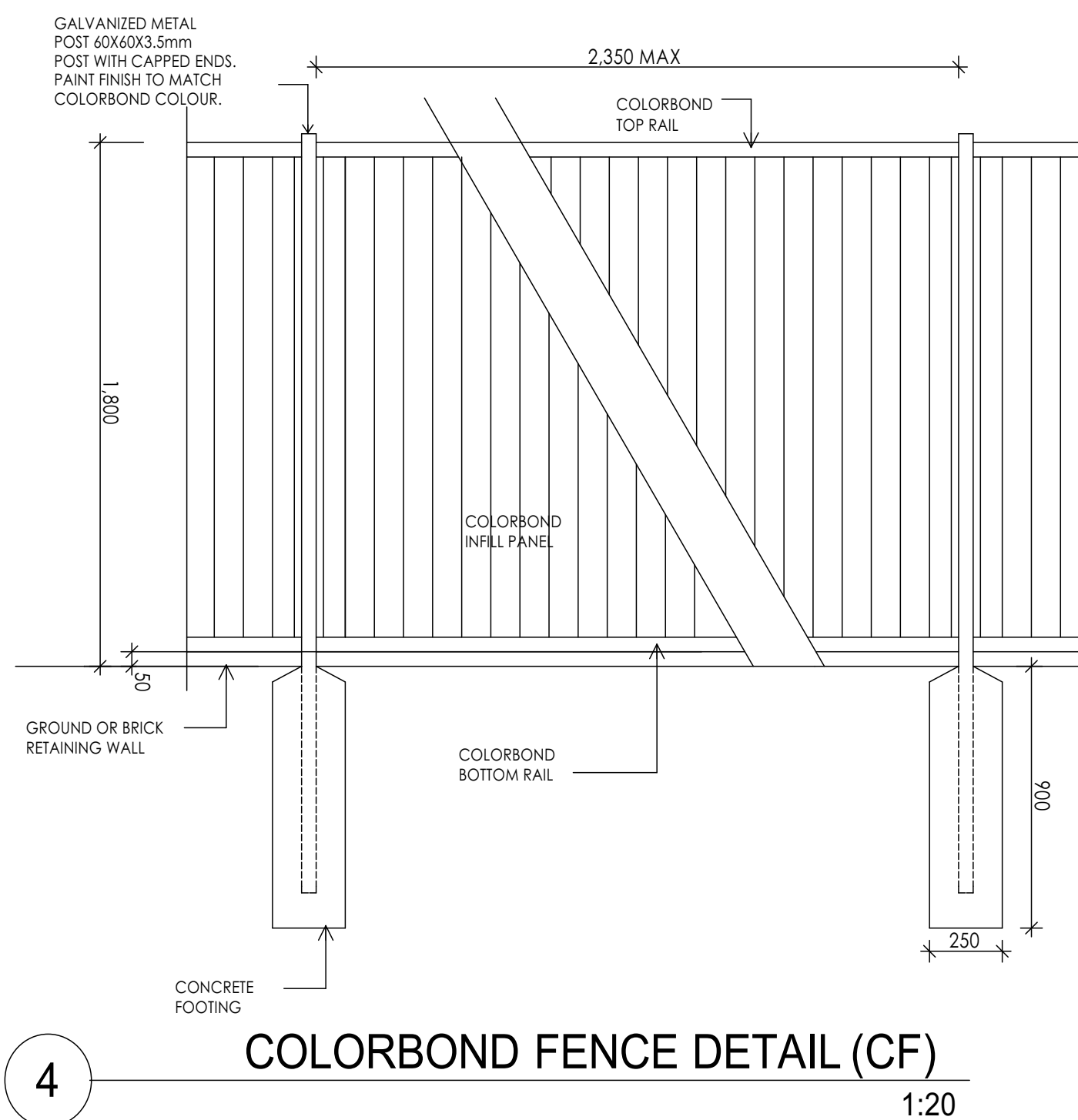
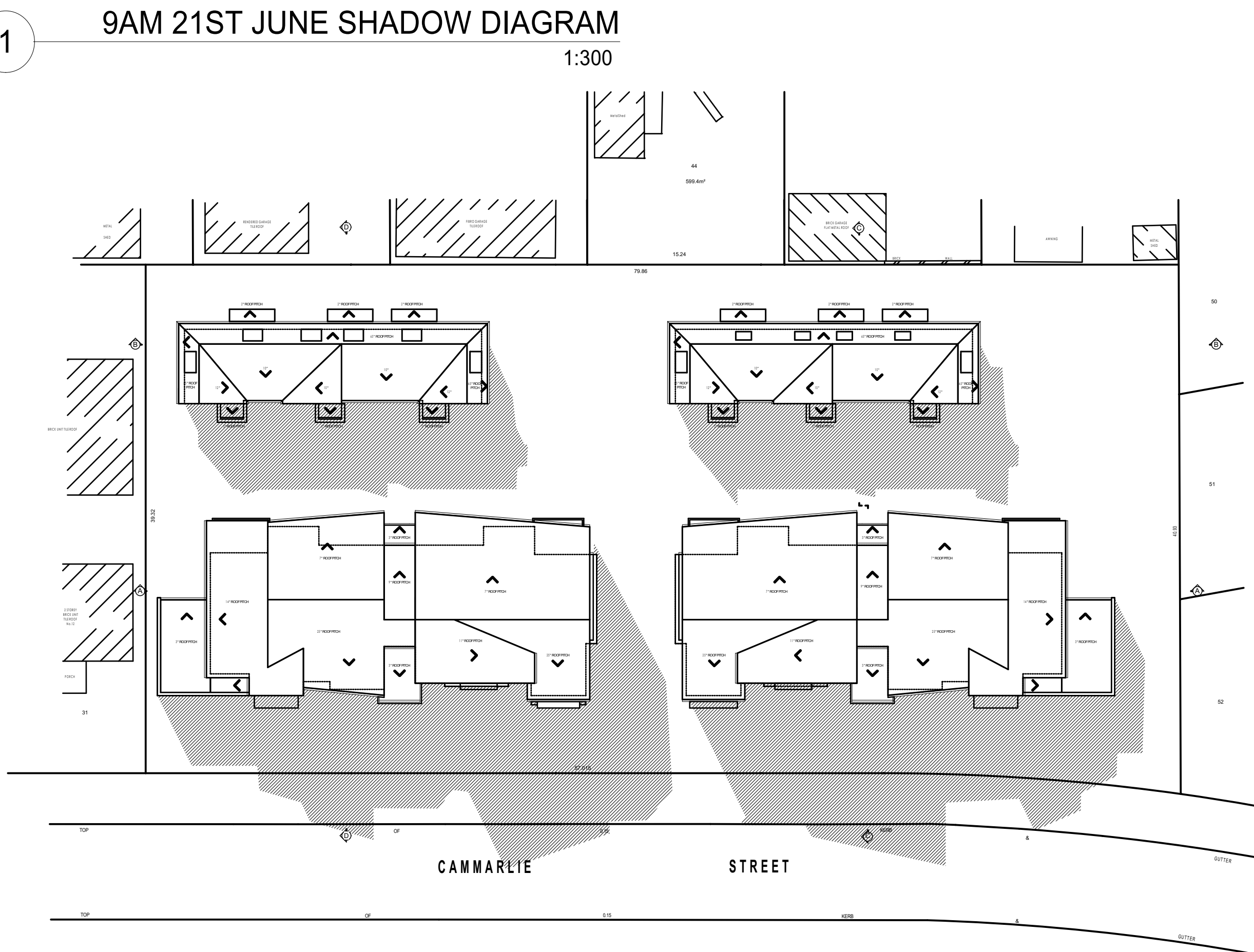
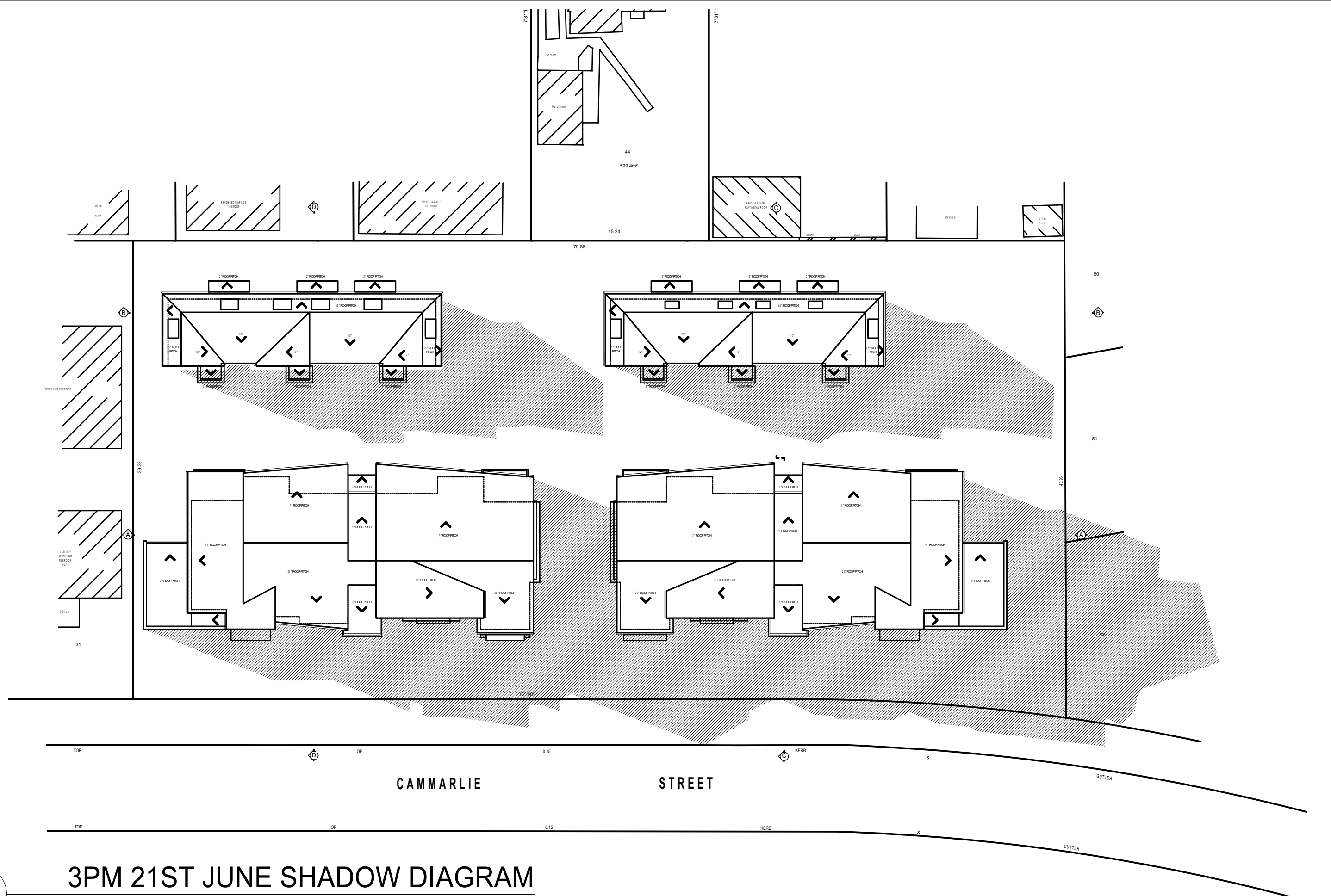
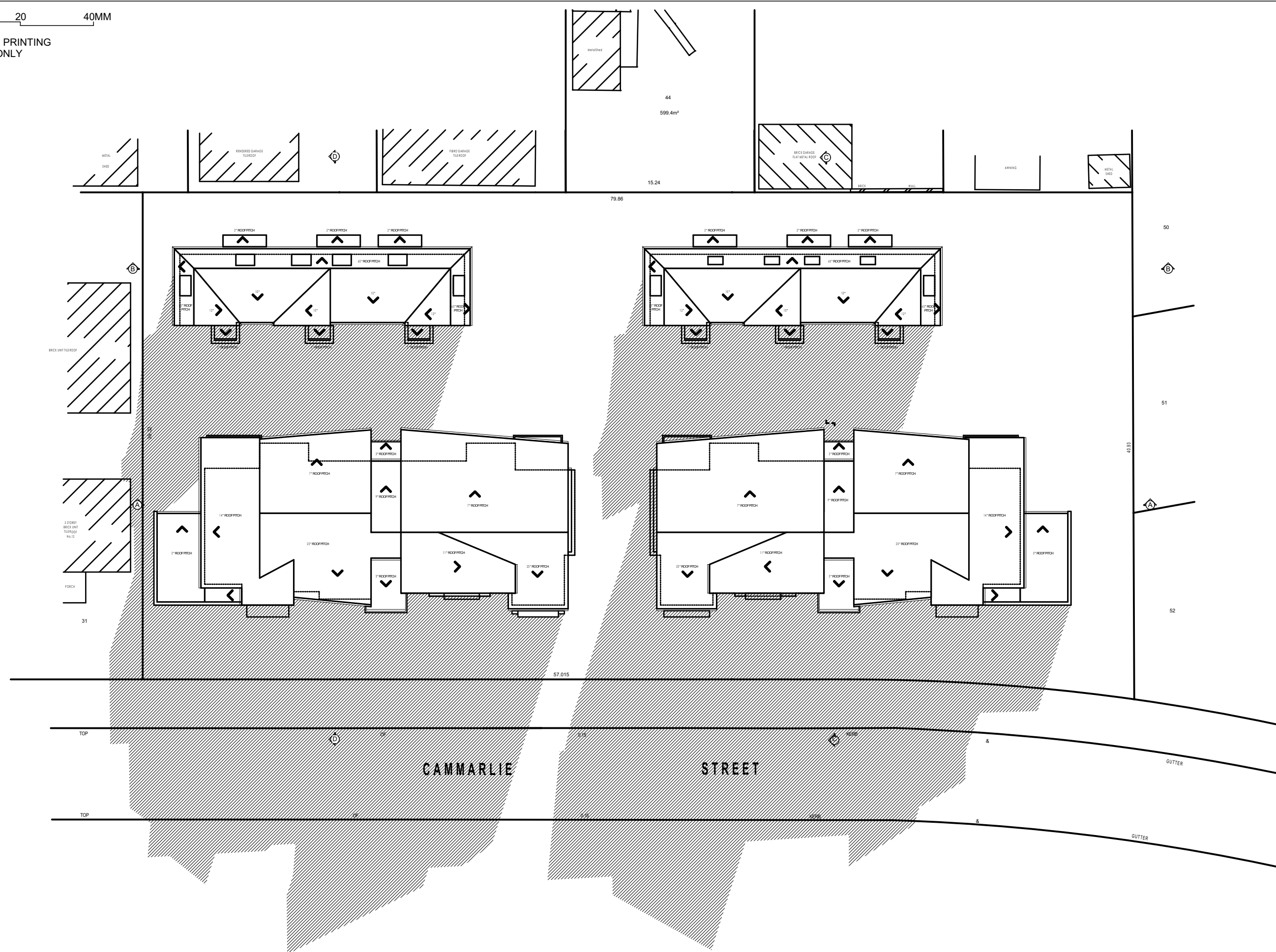
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FILE: BG109-DA2015REVD.pln	PLOTTED: 2/02/2016 9:17 AM	TYPE: A	SHEET: 10 of 12
STATUS: DEVELOPMENT APPLICATION	DATE: 2/02/2016	SCALE: 1:100	PROJ: G.H
STAGE: DA	DRAWN: N.R	DESIGNER: E.T	CHECKED: K.K
REV: C			



 Family & Community Services Land & Housing Corporation	LOCKED BAG 4009 ASHFIELD NSW BC1800 PHONE No (02) 8753 8000 FAX No (02) 8753 8888 www.facs.nsw.gov.au	NOMINATED ARCHITECT:		SIGNATURE:					PROJECT MANAGER & ARCHITECT	HYDRAULIC CONSULTANT	 Family & Community Services	CLIENT:	PROJECT:	TITLE:	STATUS: DEVELOPMENT APPLICATION										
		GEOFFREY WILLIAM KNOX 4544			C	11/11/2015	REVISED TOWNHOUSES ROOF & ATTIC	LAND & HOUSING CORPORATION		BSE BUILDING SERVICES ENGINEERS					DATE:	SCALE:	PROJ:	PROJECT NO:							
		P.KOKULERAJ 7001			B	29/09/2015	REVISED LAYOUT & LEVELS	(02) 8753 8100 FAX (02) 8753 8011		(02) 8069 5219 (02) 9922 5211					11/11/2015	1:100	G.H	BG109							
		PETA BAKER 8177			A	27/03/15	DEVELOPMENT APPLICATION	BCA CONSULTANT		LANDSCAPE CONSULTANT					STAGE:	DRAWN:	DESIGNED:	CHECKED:							
		J.DEBEK KOZYRA 6193			REV	DATE	NOTATION/AMENDMENT	PHILIP CHUN BUILDING CODE		CLOUSTON ASSOCIATES					TYPE:	SHEET:	REV:								
					DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				(02) 9412 2322 (02) 9412 2433						(02) 8272 4999 (02) 8272 4998		8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES								
at 2 - 10 CAMMARLIE STREET, PANANIA														FILE: BG109-DA2015REVD.pln ©\nsystems\env\dwg\bg109-DA2015REVD.dgn				PLOTTED: 11/11/2015 12:16 PM		A		11 of 12		C	

- The BASIX commitments:
- UNITS
- External walls - cavity brick with air cell or equivalent insulation, or metal clad framed walls with R2.0 bulk insulation
 - Windows - aluminium framed clear glass, U value 6.35, SHGC 0.77. All operable windows to be weather sealed and screens provided.
 - Internal walls - plasterboard on studs, or cavity brick between dwellings.
 - Floors - slab on ground or suspended slab to first & second floors. Floor coverings as shown.
 - Ceilings - plasterboard with R3.5 bulk insulation where adjacent to roof or roof space.
 - Roof - light coloured metal deck with R1.0 foil backed roof insulation blanket
 - 3 star rated showerheads
 - 4 star rated toilets
 - 4 star rated taps
 - Rainwater used for private landscape irrigation and for toilet flushing to ground floor units only
 - 5.5 Star instantaneous gas HWS
 - Electric cooktop & oven
 - Provide energy efficient lighting (LEDs, standard or compact fluoros) throughout
 - Provide a fixed indoor or sheltered clothes drying line
- TOWNHOUSES (BOLD, where different to units)
- External walls - **brick veneer with R2.0 bulk insulation**, or metal clad framed walls with R2.0 bulk insulation
 - Windows - aluminium framed clear glass, U value 6.35, SHGC 0.77. All operable windows to be weather sealed and screens provided.
 - Internal walls - plasterboard on studs, or cavity brick between dwellings.
 - Floors - slab on ground or suspended slab to first floor, with floor coverings as shown
 - Ceilings - plasterboard with R3.5 bulk insulation where adjacent to roof or roof space
 - Roof - light coloured metal deck with R1.0 foil backed roof insulation blanket
 - 3 star rated showerheads
 - 4 star rated toilets
 - 4 star rated taps
 - Rainwater used for private landscape irrigation and for flushing of all toilets**
 - Solar gas boosted HWS**
 - Gas cooktop & electric oven
 - Provide energy efficient lighting (LEDs, standard or compact fluoros) throughout
 - Provide a fixed outdoor clothes line (receives minimum 2hrs sunshine in winter)**
- COMMON AREAS
- 50,000L central rainwater tank collecting at least 1000m² of total roof area
 - Rainwater used for irrigation of all common area landscaping
 - 4 star rated toilets & taps to common area WC
 - Hydraulic lift system for Block A & B
 - Compact fluorescent lighting with daylight sensors to all internal common areas

0 5 10 20 40MM
SCALE FOR PRINTING
PURPOSE ONLY



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PROJECT MANAGER & ARCHITECT	
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PROJECT:
8 X 2 BED & 14 X 1 BED UNITS & 6 X 2 BED TOWNHOUSES
at
2 - 10 CAMMARLIE STREET, PANANIA

TITLE:	
SHADOW DIAGRAM & FENCE DETAILS	
FILE:	BG109-DA2015REVD.pln
PLOTTED:	11/11/2015 12:16 PM

STATUS: DEVELOPMENT APPLICATION			
DATE:	SCALE:	PROJ:	PROJECT NO:
11/11/2015	1:300	G.H	BG109
STAGE:	DRAWN:	DESIGNER:	CHECKED:
DA	N.R	E.T	K.K
TYPE:	SHEET:	REV:	
A	12 of 12	C	